



Wychwood

**Design
and Access
Statement**

*For the replacement
dwelling and re-use of the
stables to a home office*

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Job no. 20037
February 2021

Design. With the place in mind.

Prepared by Allus Architects 2021

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Overview

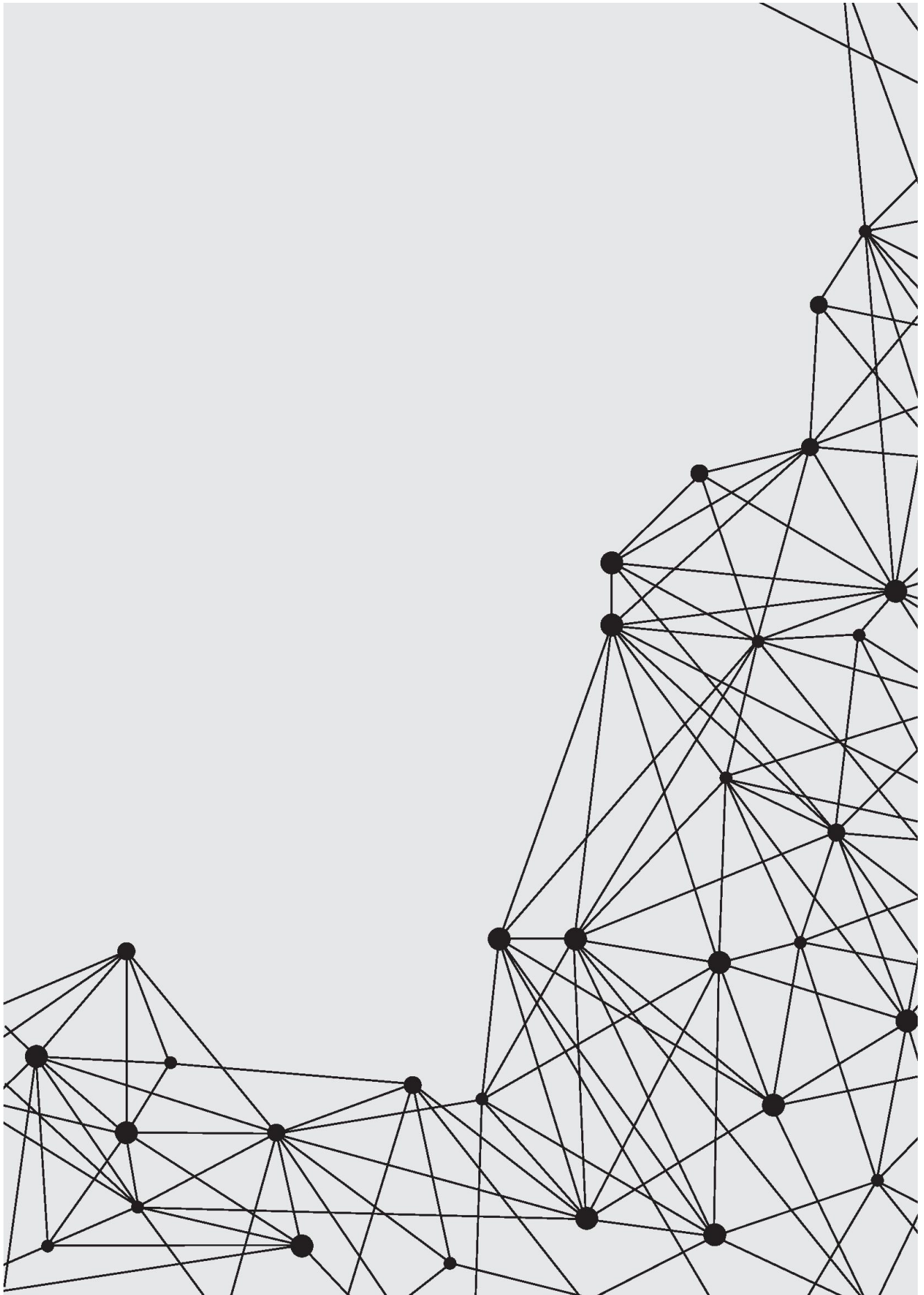
This document provides justification for the replacement dwelling of Wychwood and the re-purpose of the stables to a home office.

OVERVIEW OF THE
PLANNING APPLICATION

SITE

DESIGN PROPOSALS

ACCESS



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OVERVIEW
OF
THE PLANNING
APPLICATION

Project Overview

The clients Mr and Mrs Charlton have resided in the village of Howsham with their two children since 2014. Over this time, they have sought to make the village their lifelong home.

They have previously applied for a replacement dwelling to the rear of the site. Pre-application advice was also sought for a number of options. Within the feedback provided by the planning authority it was stated that a replacement dwelling would be acceptable in principle providing the building was in keeping and relevant to the surrounding vernacular and context.

This application seeks consent to replace the existing dwelling of an appropriate scale which has been designed using extensive research of existing planning policy and the local vernacular.

The application also seeks for consent to upgrade the existing stables to become a home office. This would see the removal of the arched asbestos shed and extending the existing building onto the footprint.

The supporting documents include:

- Planning application form
- Design and Access Statement
- Planning and Sustainability Statement
- Howsham Characterisation Study
- Existing drawings (elevations and site plan)
- Proposed drawings (elevations, site plan and floor plans)
- Asbestos report

The refusal of the previous application was on the following grounds:

- The first scheme was not of significant architectural merit and was outside the development curtilage
- The scheme to convert the existing barn was also outside the development curtilage and the barn was not of architectural value
- The impact on the views from the path and on the AONB were not acceptable
- There was a concern regarding light pollution

A series of different schemes were then prepared which included a replacement dwelling with a large house, and the option to replace with holiday cottages. Pre-application advice was sought from the Planning Authority for a subsequent scheme. They responded with the following concerns:

- The scale was too large
- The design was not reflective of the local architecture
- There was no justification for additional dwellings on the site

However, in the pre-application advice it was noted that a replacement dwelling would be acceptable if it met the planning policy criteria and was reflective of the local area.



Wychwood, 2020

The primary ambition is to create a warm, loving four bedroom family home that reflects the local architecture in style and merit. Secondly, to replace the existing stables and barn with a new home office.

INTER-GENERATIONAL

FAMILY

The house must be able to accommodate 2 adults, 2 children and be adaptable for elderly parents to move into where they can be cared for.



WELFARE

ANIMALS

To provide a home suitable for the cats, dogs and chickens.





DESIGN

LOCAL

A blend of tradition and architectural scale and features from the village mixed with contemporary and innovative design.



WORK

STUDYING | MAKING

To provide a purpose built home office, printing room and workplace. The design of the structure should blend sensitively in to the surroundings. The home office requires an office for computer work, with appropriate filing space. A secondary room which is needed as a workshop/ printing room with accessible washing facilities.

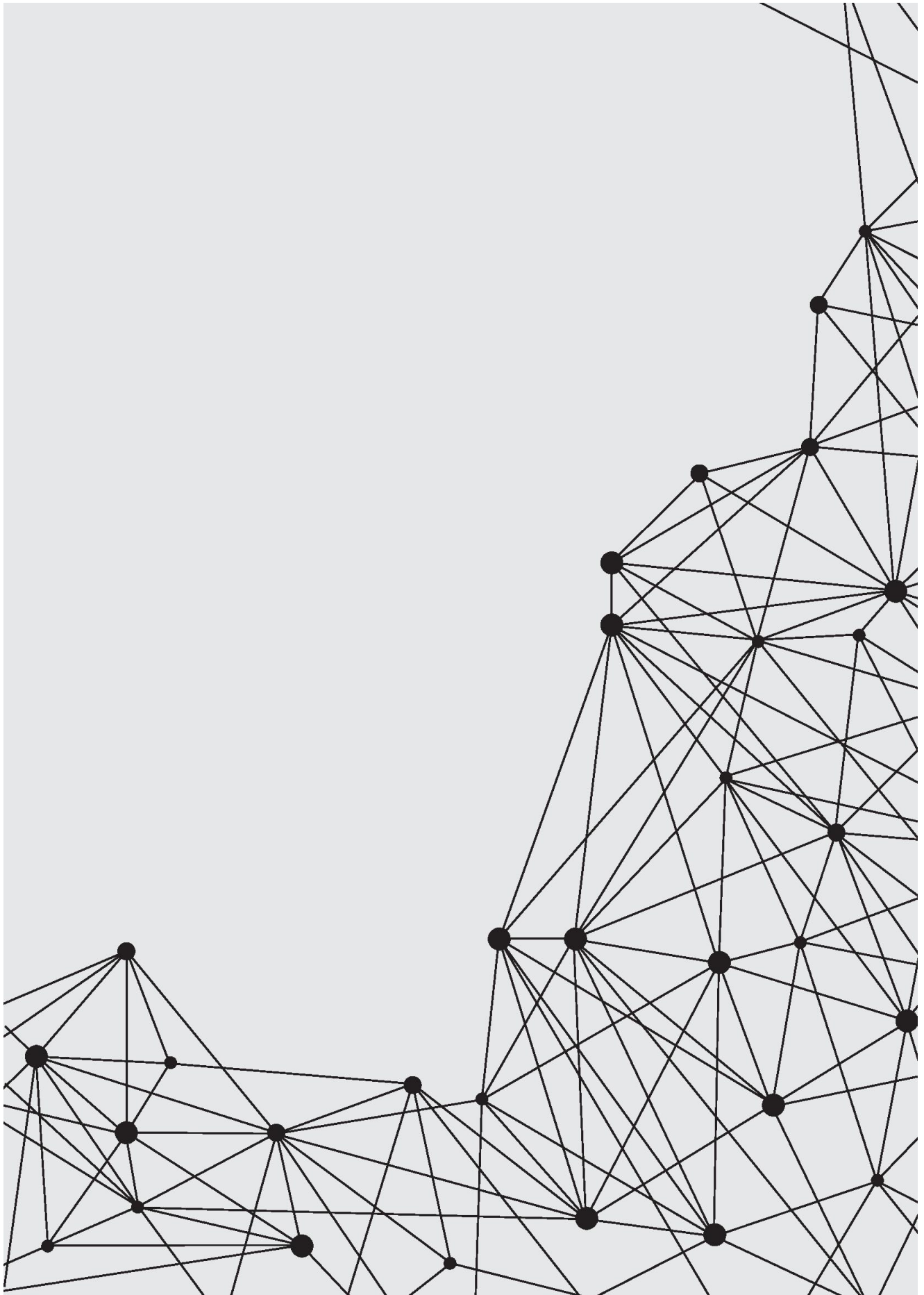


HOMELY

LIVING

A warm and welcoming home which is compliant and provides a home fit for all ages and abilities. The home will have four bedrooms , a downstairs wet room and a living room which can be converted into a bedroom for care. There will also be a utility room and an open living kitchen with dining space. This will be the heart of the home.







HOWSHAM

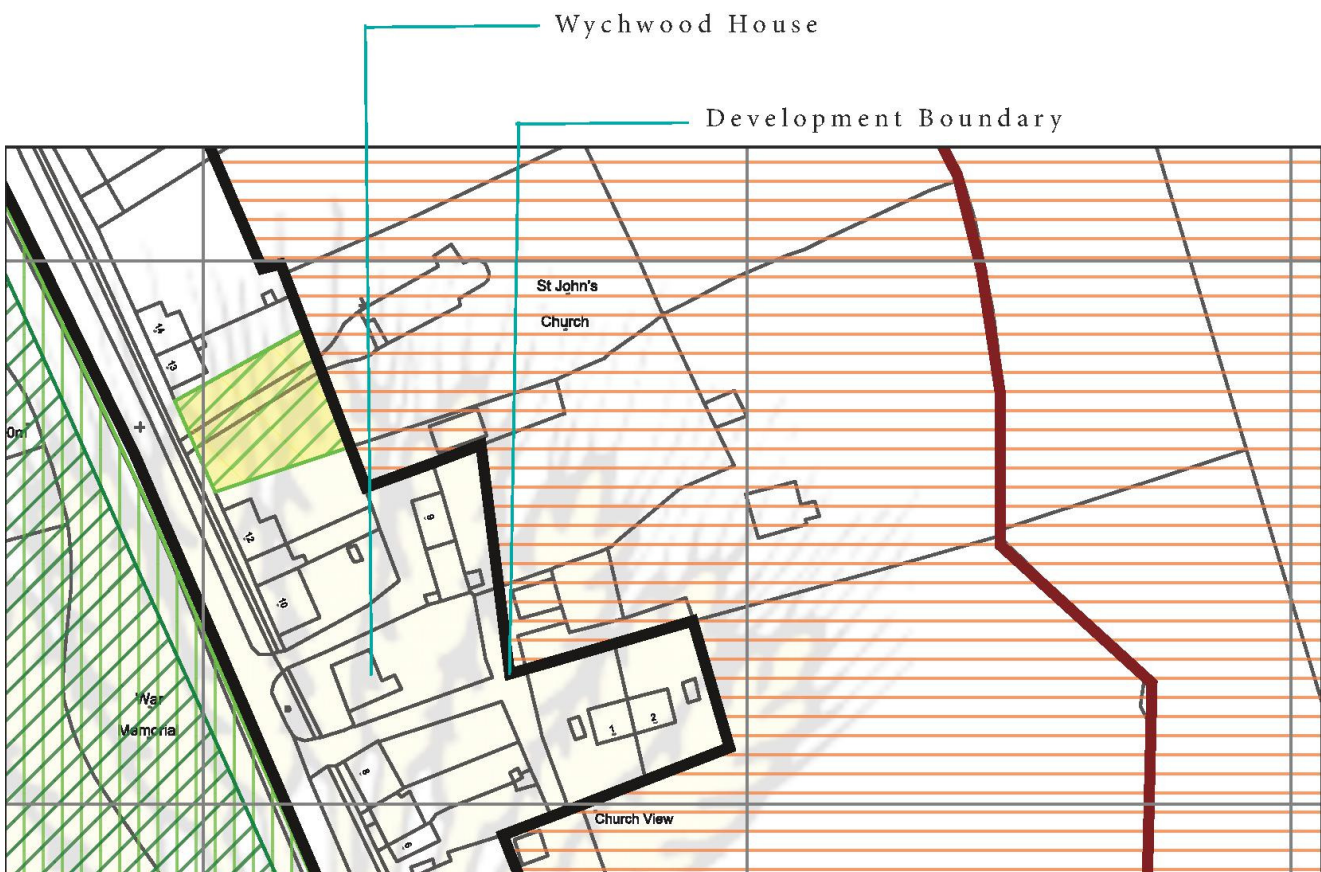
THE
SITE

DEVELOPMENT

The development boundary sits just in front of the existing stables located at the rear of Wychwood.

The existing shed is within the development boundary.

Other buildings have since been built outside the development boundary: See the home office at The Old School



DEVELOPMENT BOUNDARY



The site has primarily been undeveloped until the existing home was built. There was however, a building to the rear which existed in 1856.

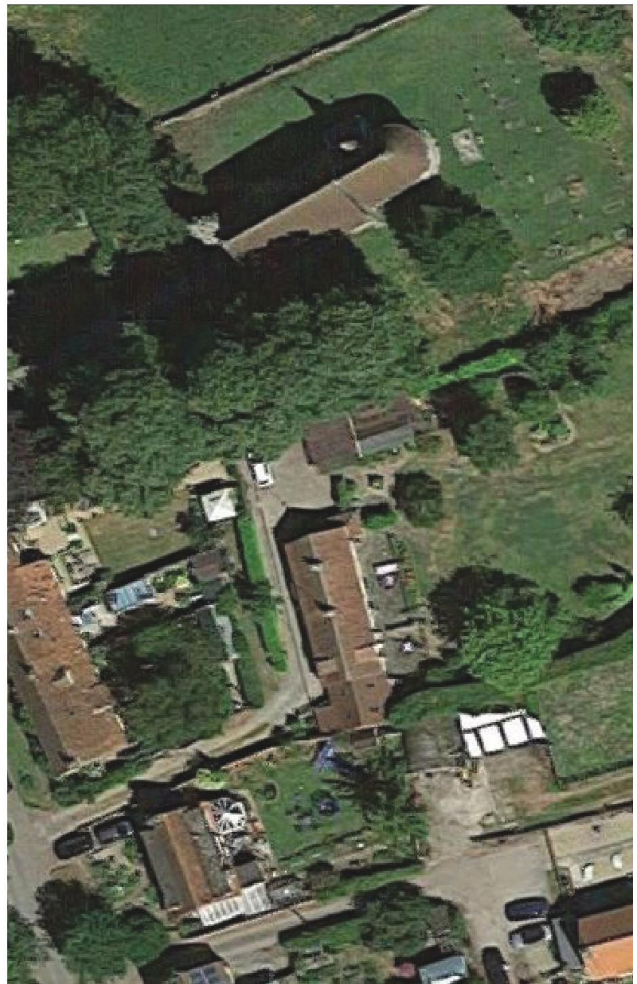
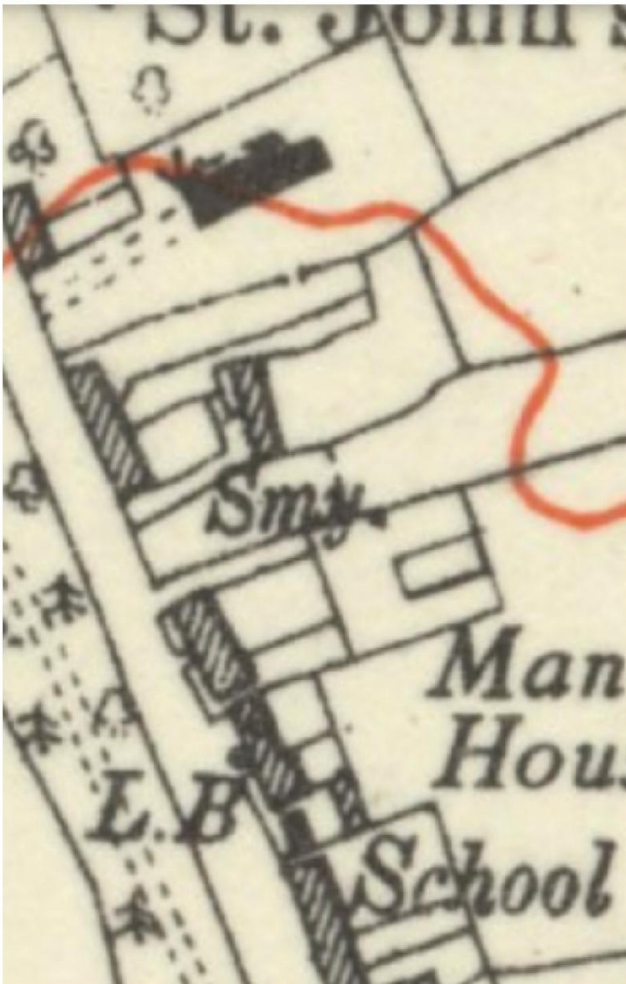
1856

1891



1950

TODAY







The Existing House

The existing building has extensive amounts of asbestos within the structure. An asbestos report has been included as part of the application. The building is no longer fit for purpose. The flat roofs are leaking and the design does not support longevity. The materials are decaying and require extensive works.

The government is pushing for improved sustainability and thermal performance utilising local and low carbon proposals. The ambition is to use advanced technology to minimise the use of fossil fuels.

The proposal includes the need for a house which is fit for all generations. The proposal includes a space to the ground floor which would achieve the previous 'lifetime homes' need that ensures the building can be adapted to suit the needs of the elderly be it for the existing family or to care for elderly relatives.

Asbestos

A domestic asbestos survey has been completed which has identified asbestos within the existing dwelling. Please refer to the asbestos report for further details.

There is also asbestos to the existing buildings abutting the stable block.

Elevation Treatment

The existing elevations are subservient to the historic building stock of Howsham, however, the design is not in keeping or reflective of the local character. The brick is a stretcher bond with modern mass made bricks, the large UPVC windows are out of scale and design to the street frontage and the dormer windows to the front are also not a typical design to the area.

In the pre-application advice that was received it was noted that a replacement dwelling would be acceptable if it met the planning policy criteria

Considerations

Lighting

The lighting includes a security light to the front and side. Lighting also exists to the rear.

Landscaping

The existing landscaping includes a raised bed to the front of Wychwood elevated by bricks. There is one car parking spot. To the rear there is a lawned garden that is fenced in.

Behind the garden and past the side access there is a large area of hardstanding which provides access to the barns and stables. There is a smaller fenced area for an allotment.. Behind is rough pasture with a mixture of boundary treatments including trees, hedges and fencing.

Drainage

Wychwood shares an existing septic tank with adjacent dwellings. There is mains drainage to the village.



Wychwood Site, 2020

The Existing Barn and Stables

The existing area has a combination of an elongated concrete block stable with a low pitched tin roof. There are stable doors made of timber providing access to the stables. The building is structurally sound.

The second barn is a cylindrical tin building with an asbestos roof. This building is detrimental to the aesthetic of the area.

Despite the aesthetic the buildings are in scale with the surrounding buildings and site. They are sheltered from the primary elevation of the village and are screened by large Leylandii which are to be retained.

Asbestos

A domestic asbestos survey has been completed which has identified asbestos within the existing dwelling. Please refer to the asbestos report for further details.

There is also asbestos to the existing buildings abutting the stable block.

Elevation Treatment

The existing elevations are not in keeping with the local area. The bright tin roof can be seen from above and does not blend in with the darker and more natural materials.

The breeze block buildings are sound but the colour and materials are not reflective of traditional barns.

Considerations

Lighting

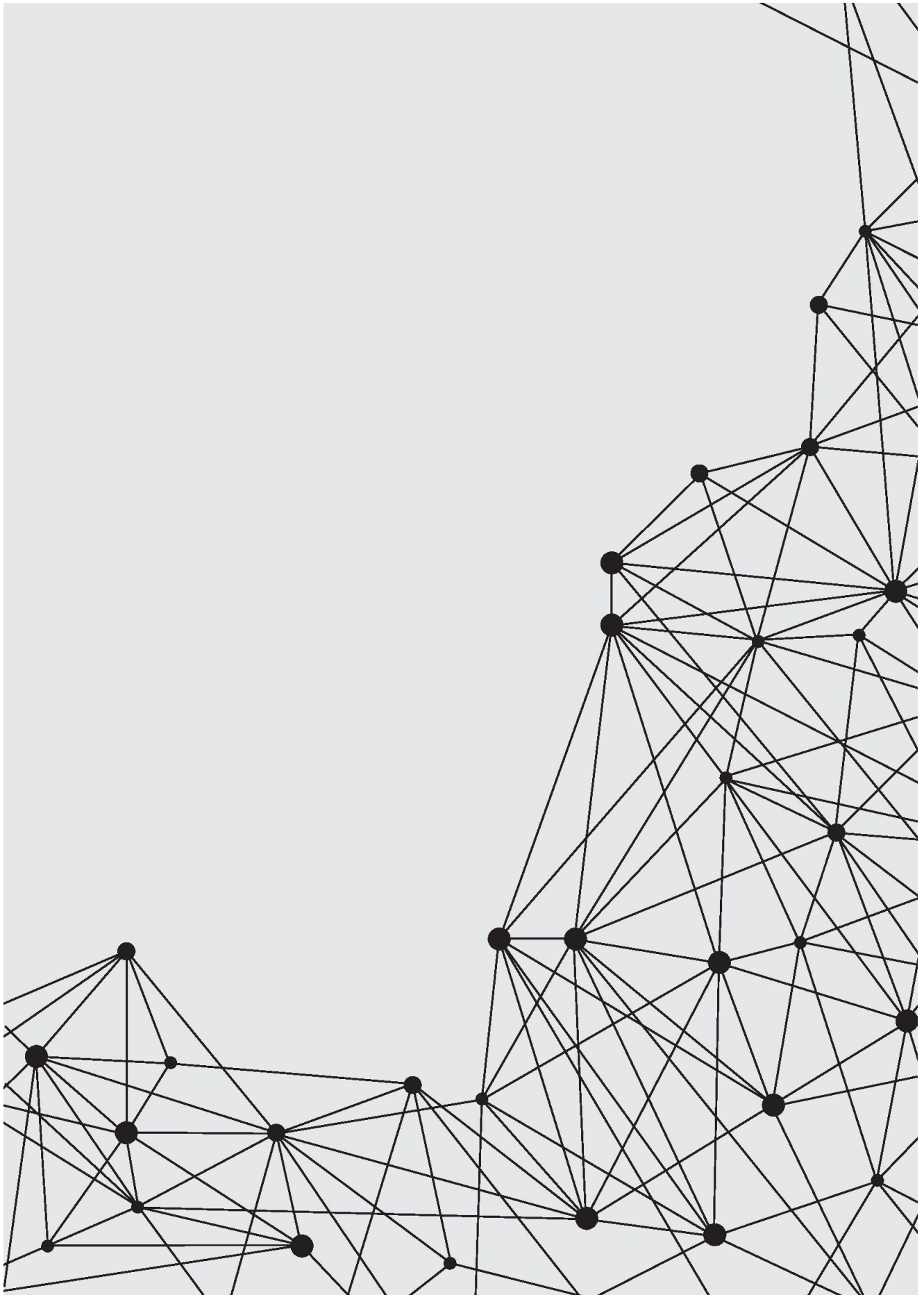
The lighting includes a security light to the rear and to the opposite dwellings.

Landscaping

The existing landscaping is primarily concrete hardstanding. There are large leylandii to the rear.



Wychwood Site, 2020



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WYCHWOOD
DESIGN

STATEMENT OF NEED

PROPOSED REPLACEMENT DWELLING

Building height has been at the heart of the design consideration. To minimise visual impact the height is only fractionally higher. This means the upstairs room will be partially in the roof space - similar to that of the existing cottages. The proposed scale is in proportion with the existing buildings in the village.

The existing building has extensive amounts of asbestos within the structure. An asbestos report has been included as part of the application. The building is no longer fit for purpose. The flat roofs are leaking and the design does not support longevity. The materials are decaying and require extensive works.

The government is pushing for improved sustainability and thermal performance utilising local and low carbon proposals. The ambition is to use advanced technology to minimise the use of fossil fuels.

The proposal includes the need for a house which is fit for all generations. The proposal includes a space to the ground floor which would achieve the previous 'lifetime homes' need that ensures the building can be adapted to suit the needs of the elderly be it for the existing family or to care for elderly relatives.

The proposal elevations have been designed based on extensive research of the local vernacular and relevant planning policy.

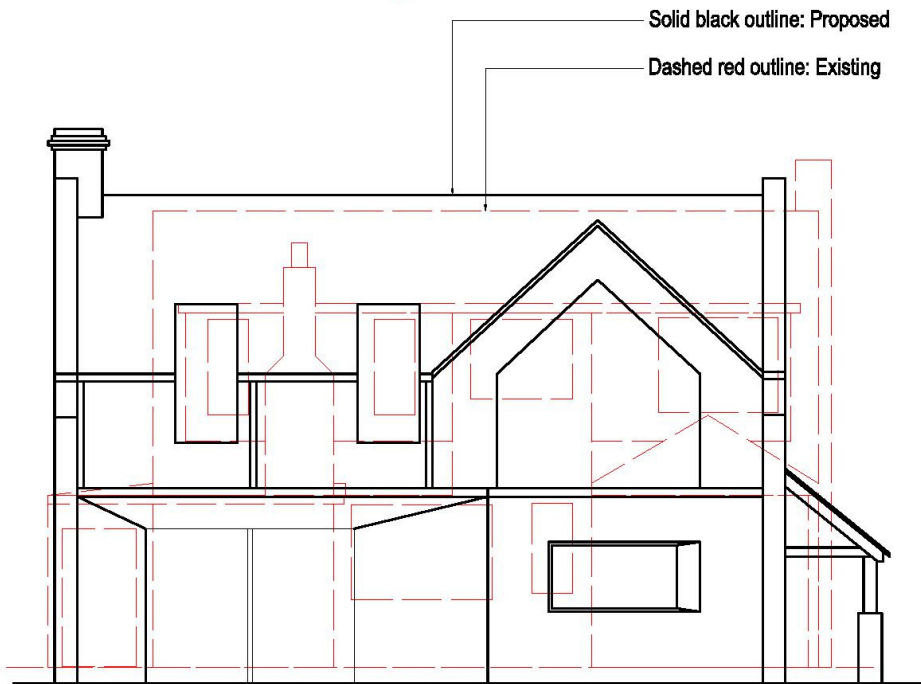
The design ambitions included the following:

1. In scale with the surrounding buildings in terms of height and density
2. The materials must be respectful and reflect that of the local architecture. Either in brick or stone
3. The design should take inspiration of the architectural features which are uniquely 'Howsham'
4. The work should include elements of craftsmanship reflective of the local heritage
5. The detail must be appropriate in materiality
6. Anything designed beyond the primary front and sides abutting the two buildings should be of 'contemporary' design.



1 Front Elevation
08 1:50

Existing vs proposed building height



2 Rear Elevation
08 1:50

HOWSHAM

DESIGN INSPIRATION: STREET FRONTAGE

The design of the replacement dwelling has drawn a great deal of inspiration from the village to ensure the building is inkeeping and appropriate.

Bespoke details unique to Howsham have been subtly incorporated into the dwelling, including an ogee window detail to the porch which reflects The Old School House, Howsham Hall and Howsham Mill.

Brick for the principle facades have been proposed as this can continue the relationship with other buildings in the village. Primarily later buildings have been built from brick, not stone and therefore this retains the legibility. The roof will be pantiles to match many of the other dwellings in the village.

The Yorkshire Horizontal Sliding Sash is a feature often lost to UPVC and more functional windows. Many of the dwellings still retain this unique characteristic and the proposal includes the insertion of Yorkshire Sash to the front and side elevations.

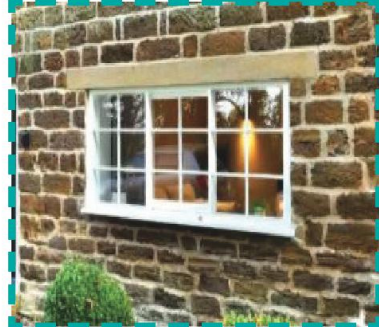
Stone coping gables
Pantile roof



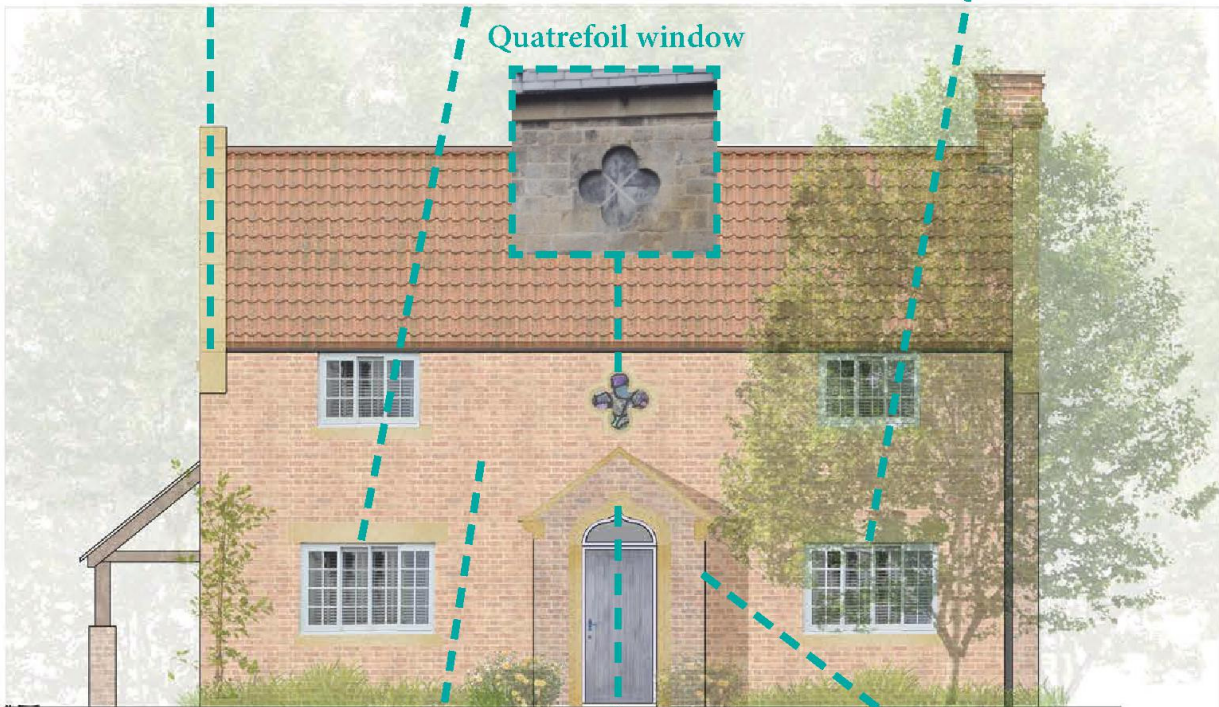
Yorkshire Sliding Sash windows



Stone lintel



Quatrefoil window



Flemish Brick Bond



Ogee window



Porch

HOWSHAM**DESIGN INSPIRATION:
'THE EXTENSION'**

The rear of the property has been sensitively designed and treated as 'the extension', a contemporary part of the dwelling which is reflective of an excellent precedent example within the village.

The benefits of contemporary design is the ability to create thoughtfully designed and unintrusive and subtle spaces whilst catering for modern living.

The Old School House retains its historic character to the street front, whilst the rear has been significantly extended and has been done with with materials and design that is contrasting but reflective of the setting.

The neighbouring property also has a zinc kitchen roof and therefore a precedent exists for metal roofs.

The proposal has taken inspiration from the setting, materials and contemporary extension approved in the area.

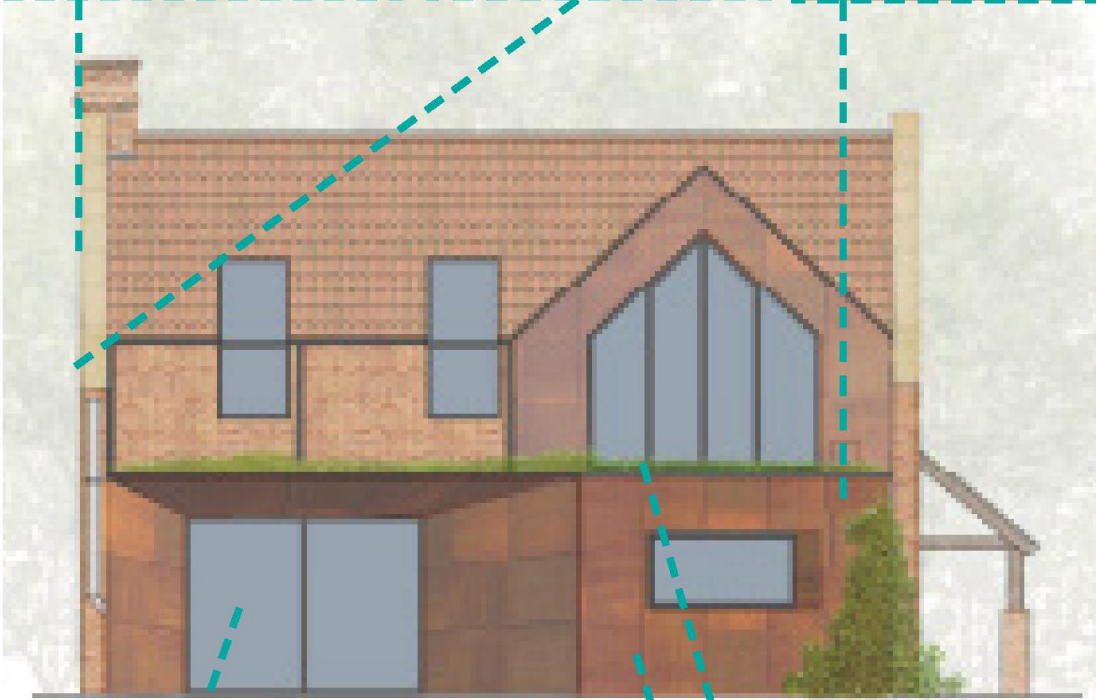
Brick detail to side elevations



Built in bat boxes to side elevations



Metal finish in harmony with brick



Open plan living



Sedum roof and contemporary extension

EXISTING FRONT
ELEVATION



PROPOSED FRONT
ELEVATION



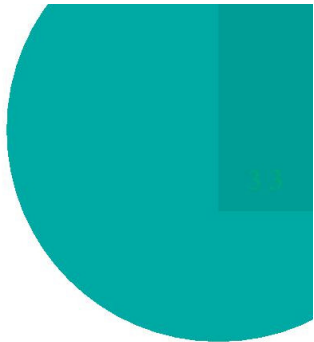
HOWSHAM

FRONT ELEVATION

The front elevation has been designed to reflect that of the surrounding buildings. In an ideal scenario one would propose the dwelling to be in line with the rest of the street frontage however both buildings to each side have windows in their side elevation and we are ensuring light and privacy levels are not affected.

The key architectural features include:

1. Sliding sash timber conservation windows to the front and side elevations. These will be slimline double glazing, providing beneficial thermal properties whilst also mitigating the double vision which occurs with certain angles on double glazing.
2. Locally sourced solid stone lintels and cills to the windows.
3. To continue the subservience of later buildings which are made in brick in the village we propose the replacement dwelling to be built using hand crafted bricks in the Flemish bond. The mortar will be a lime mortar reflective of the surrounding mortar colours and texture.
4. A small porch designed to provide a draught lobby as recommended in sustainability proposals for domestic dwellings. The stone and window surround takes inspiration from the pinnacles of Howsham hall, the windows to the mill and the old school.
5. A handcrafted stained glass window withing a quatrefoil stone surround to the bathroom providing privacy in a sensitive way avoiding the need for frosted or mottled contemporary glass
6. Gable ends with stone copings with stone, sourced locally.
7. The gable ends to have detailed brickwork to reflect that of the nearby farmhouse.
8. Clay pantile roof to match the surrounding buildings.



HOWSHAM

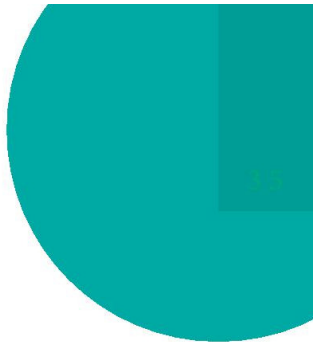
REAR ELEVATION

The rear elevation is a hybrid of traditional and contemporary – an appropriate combination of aesthetic subservience and ability to utilise contemporary design to its potential.

As glazing technology evolved large panes of glass became more affordable and window sizes increased. This means that the smaller panes are typical of small domestic dwellings from 150+ years on and is reflected in the street of Howsham.

As well as advanced technology we also now know the benefits of natural light and ventilation within a room.

We have proposed to retain the intrinsic characteristics of the street frontage including the smaller sliding sash windows and proportions. The rear of the property can not be seen from the street frontage and therefore we believe there is more room for contemporary design including larger windows which can provide enhanced daylight and natural ventilation.



HOWSHAM

SIDE ELEVATIONS

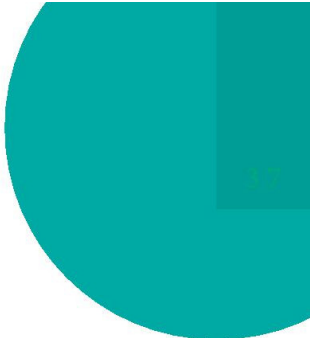
The side elevations have taken consideration for both residential buildings on both sides and the Blacksmith's Cottage to the rear.

The neighbouring property is the Grade II listed, Crabapple Cottage. To mitigate density to the side and rear abutting the listed building, the proposal includes a contemporary element. To minimise intrusiveness the proposed dwellings rear element is set back by 350mm. This provides an aesthetic and massing subservience to the adjacent properties.

To keep the aesthetic subtle, we have proposed the contemporary element to be a rustic red material using either steel or zinc. To keep as minimally intrusive as possible, the whole of the rear part of the building will be the same material and a colour and texture which is complementary to the brick work and primarily single storey.

Window openings have been designed to make sure they do not directly impact properties either side.

The living/ kitchen space is primarily single storey and with a flat roof to minimise impact and density of the building.



HOWSHAM

DESIGN DETAILS

Footprint

The proposal has ensured that the footprint is as minimal as possible whilst still providing necessary family accommodation.

Ground Floor

- An entrance porch offering a significant benefit to reduce draughts to the property and providing level access to the building
- A hall way with storage cupboard and stairs large enough to support a stair lift if ever required
- A dining room which has the potential to be converted into a bedroom to allow the building to be accessible to all generations
- A downstairs shower room suitable for conversion into a wetroom
- A living room with 2 windows to allow for natural daylight
- A utility large enough to aid the natural drying of clothes in colder weather
- A kitchen dining space suitable for all the family to enjoy
- All doors wide enough for wheelchair access

First Floor

- 4 bedrooms including a master suite, 2 children's bedrooms and a guest bedroom all partially within the loft space to minimise the roof height

Considerations

Lighting

The proposed lighting includes security lighting to the side entrance into the utility. Small frontage lighting to the porch.

Landscaping

The front will be lowered by between 250mm to 500mm. This will be lawned with a stone path and planting. To the rear there will be a new patio and lawn with some localised planting.

New fencing and a brick wall will be constructed to provide continued privacy to the adjacent buildings and the blacksmiths cottage to the rear.

Drainage

It is proposed that the dwelling and office in the stables will be connected to the existing sewer system.

HOWSHAM

REDEVELOPMENT OF THE STABLES

The existing barns sit partially within the allocated development boundary within the local planning policy. The barn and stables are currently used for storage and for poultry accommodation.

The existing barn and stables are a mixture of corrugated asbestos, concrete, tin and blockwork. The buildings are structurally sound but aesthetically detrimental to the area.

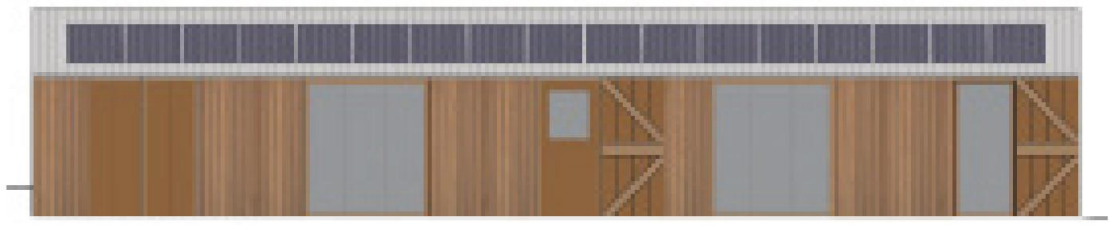
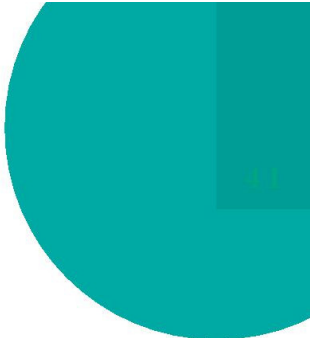
Working from home has become of particular importance over the past year, with many companies now realising the benefits of home working with less commuting and need for offices. The clients will be working from home indefinitely in the current role therefore making a home office essential.

The reuse of existing structures is recommended within planning policy. This prevents the need to install additional structures.

There is also a precedent set within the village which allowed consent for a 'home office' in an area outside of the development boundary.

The existing barn is partially within the development boundary therefore the proposal seeks to only extend include the stables as part of the residential site and allowed development.

The proposal also addresses the fact the existing barn and stables are not representative of the high aesthetic value of the village. The proposal sees the demolition of the asbestos barn and extending and cladding the existing barn giving an enhanced aesthetic which is more inkeeping with the local surroundings.

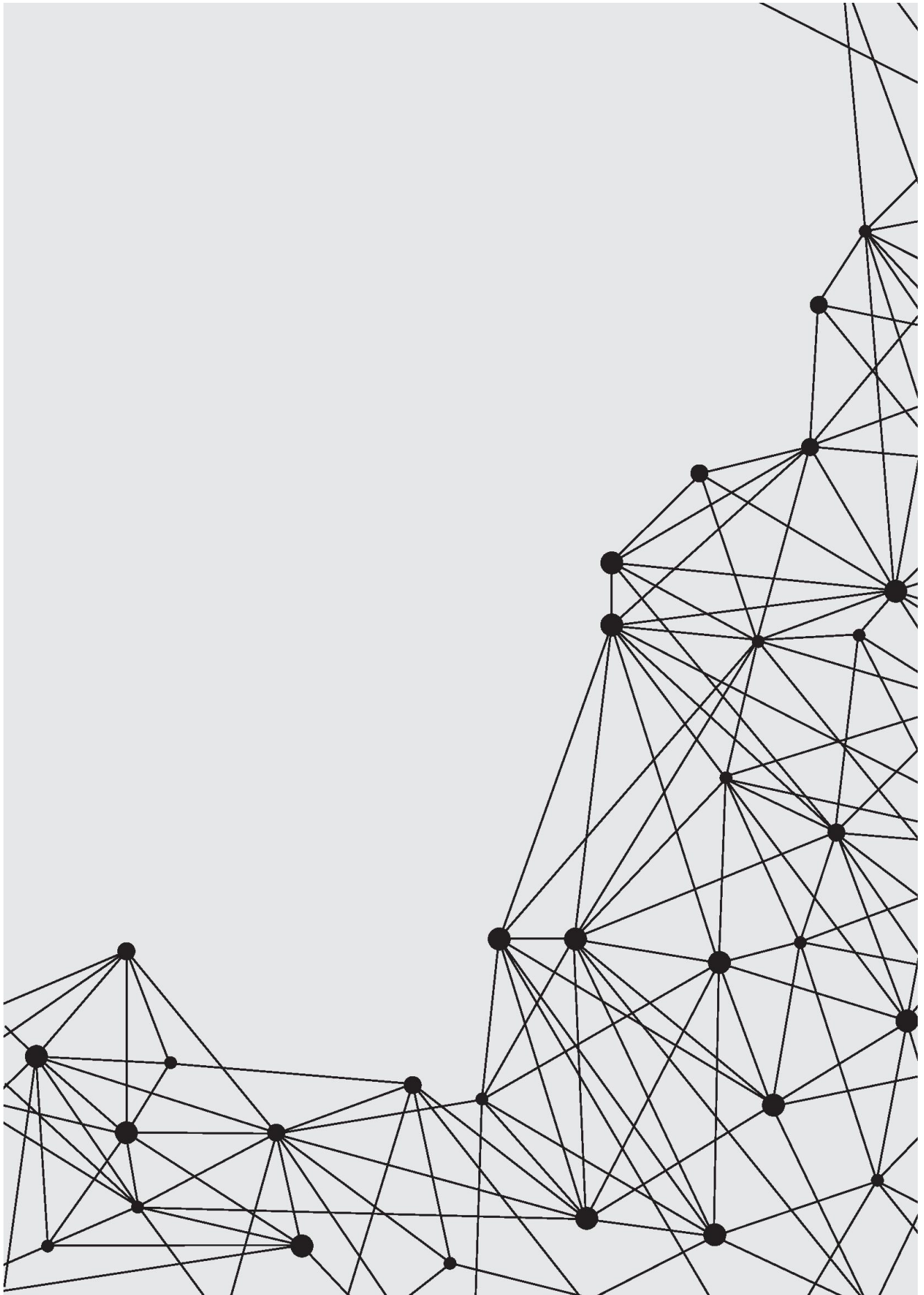


EXISTING REAR



PROPOSED REAR





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HOWSHAM
ACCESS

ACCESS

EXISTING

The existing access to the site is via a car parking spot to the front of the property and a side road which is owned by the client but provides shared access to the 2 dwellings at the rear. This shared access all provides vehicular traffic to the stables and barns and field to the rear of the dwelling.

PROPOSED

The proposed access is to remain exactly the same to both the shared access and parking to the front.

